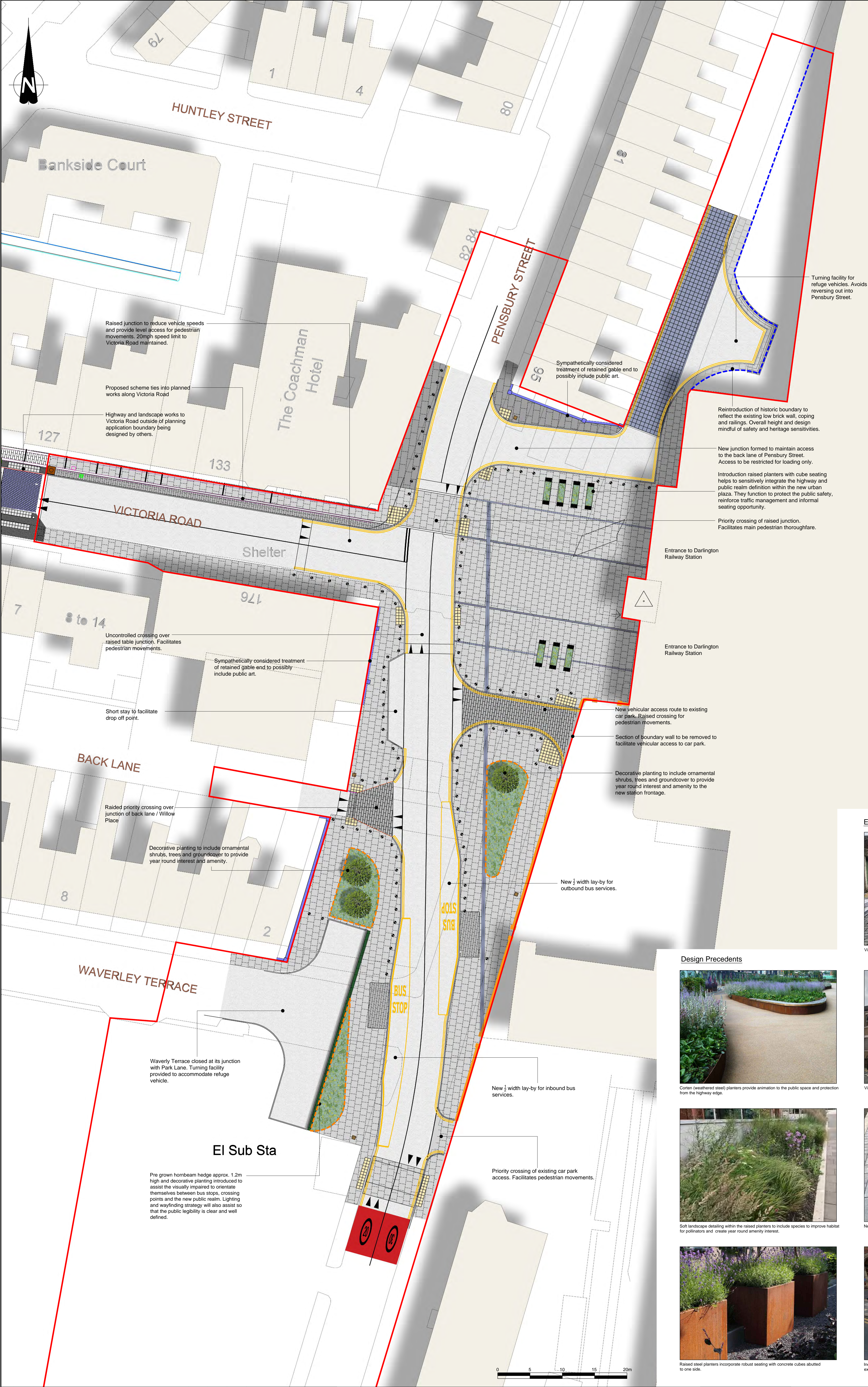


**Appendix DW1 – Drawing to Represent Proposed Development under Application
21/00691/DC – Gateway West**



Do not scale from this drawing.

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION

IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION.

RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO.

CONSTRUCTION

DEMOLITION

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE

IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

Key

Site boundary

Existing

Buildings

Wall to be considered for alteration

Proposed

Highway construction - Macadam finish

Highway construction - Paved finish to match Victoria road refurbishment

Highway construction - Paved finish to match Victoria road refurbishment

Highway construction - Paved finish to match surrounding streets

Re laid blue cobbles to highway

Blue double cobble soldier course paving banding

Buff 'Blister' tactile paving

PCC kerb line

PCC edge restraint

Anticipated accommodation works along new frontage boundaries and Sympathetically considered treatment of retained gable end to possibly include public art.

Darlington style bollard with retroreflective paneling

Litter bin - to Darlington Borough Council specification

Raised corten planter 3m x 1m x 1m with 0.5m x 0.5m x 0.5m cube seating at each end

Specimen tree planting within soft landscape areas

Hornbeam hedge planting (ready hedge 1.2m high)

Ornamental shrub planting

0.5m high low brick wall with stone cope to match existing. Black 1.5m high railing to top of cope - overall height approx. 2m

Raised corten edge to planting areas - 150mm high

Note:
Proposed parking restrictions (double yellow lines / bus stops) are shown in orange. Proposed carriageway lining is shown in black.

Darlington Station

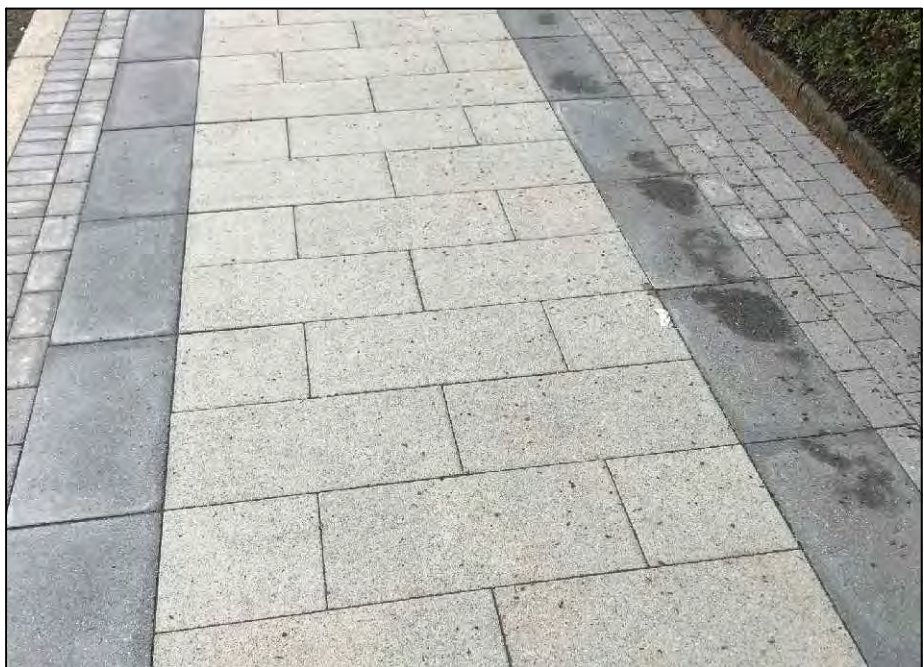
Existing Site Photos



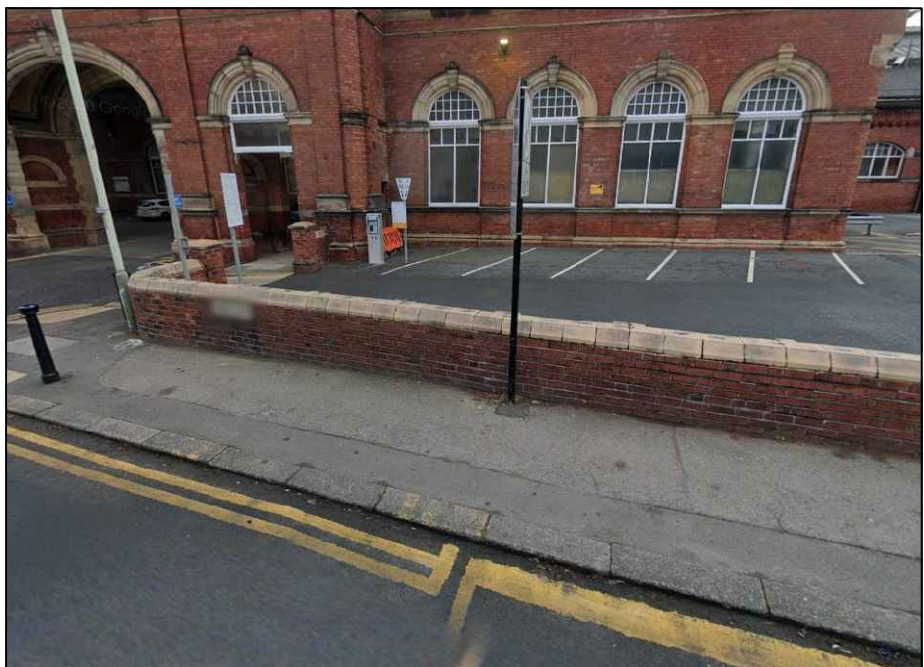
View north along western facade of station.



View towards station from Victoria Road.



New hardworks palette.



Indicative area of boundary wall to be removed to facilitate new vehicular access to existing car park.

Design Precedents



Corten (washed steel) planters provide animation to the public space and protection from the highway edge.



Soft landscape detailing within the raised planters to include species to improve habitat for pollinators and create year round amenity interest.



Raised steel planters incorporate robust seating with concrete cubes abutted to one side.

Rev.	Date	Description	Drawn	Checked	Approved
C	11/06/21	MINOR AMENDMENT TO CROSSING AND BOLLARD LOCATIONS	SDR	SWG	SWG
B	03/06/21	MINOR AMENDMENTS	SDR	SWG	SWG
A	28/07/21	REVISED FOLLOWING CLIENT COMMENTS	SDR	SWG	SWG

Notes:

- Drawing to be read in conjunction with:
 - Site Location Plan drawing 137379/8001
 - Indicative Landscape Sections drawing 137379/8003
 - Proposed Engineering Layout drawing SGMSCP-FHT-20-SL-OR-C-00050
 - Proposed Drainage Details Sheet 1 SGMSCP-FHT-20-SL-OR-C-00051
 - Proposed Drainage Details Sheet 2 SGMSCP-FHT-20-SL-OR-C-00052

Client:



Project Title:

DARLINGTON STATION GATEWAY

Drawing Title:

LANDSCAPE MASTERPLAN



1 Angrove Court, Barwick Road,
Newcastle-upon-Tyne, NE4 6DB
Tel: 0191 231 0505 Fax: 0844 381 4412

Scale 1:250	Discipline	Author	Checked	Approved
1:250	Planning	SWG	SWG	SWG
Date	Date	Date	Date	Date
03/06/21	04/06/21	04/06/21	04/06/21	04/06/21
Project No.	137397/8002	Revision	C	

**Appendix DW2 – List of Documents and Drawings from Application 21/00691/DC –
Gateway West**

Appendix DW2 - List of Documents and Drawings from Application 21/00691/DC – Gateway West which accompanied the planning application submission on 9 June 2021:

- Application Forms;
- Arboricultural Impact Assessment;
- Arboricultural Method Statement;
- Bat and Bird Survey;
- Design and Access Statement¹;
- Engineering Cross Section Drawing;
- Engineering Layout Drawing;
- Flood Risk Assessment and Drainage Strategy;
- Geo Environmental Desk Study;
- Heritage Statement;
- Highway Statement;
- Landscape Cross Sections;
- Landscape Masterplan and Proposed Site Plan;
- Planning Statement;
- Road Safety Audit;
- Site Location and Existing Site Plan;
- Statement of Community Involvement; and
- Tree Constraints Plan.

Further information submitted on 11 August 2021:

- Covering Letter responding to the comments made in consultation responses from Historic England, the Conservation Officer, Transport Policy, and Darlington Association on Disability;
- Revised Landscape Masterplan;
- Revised Landscape Cross Section; and
- Appendices to the Design and Access Statement showing vehicle tracking drawings.

¹ The appendices to the Design and Access Statement which showed vehicle tracking drawings were not submitted until 11 August 2021.

Further information submitted on 20 September 2021:

- Planning Response Letter to respond to consultation responses from Historic England, Conservation Officer, and Transport Policy.

Appendix DW3 – Condition Overview of Application 21/00691/DC – Gateway West

Appendix DW3 - Condition Tracker
Planning Permission Ref: 21/00691/DC
Date of Decision: 22/10/2021
Darlington Gateway West

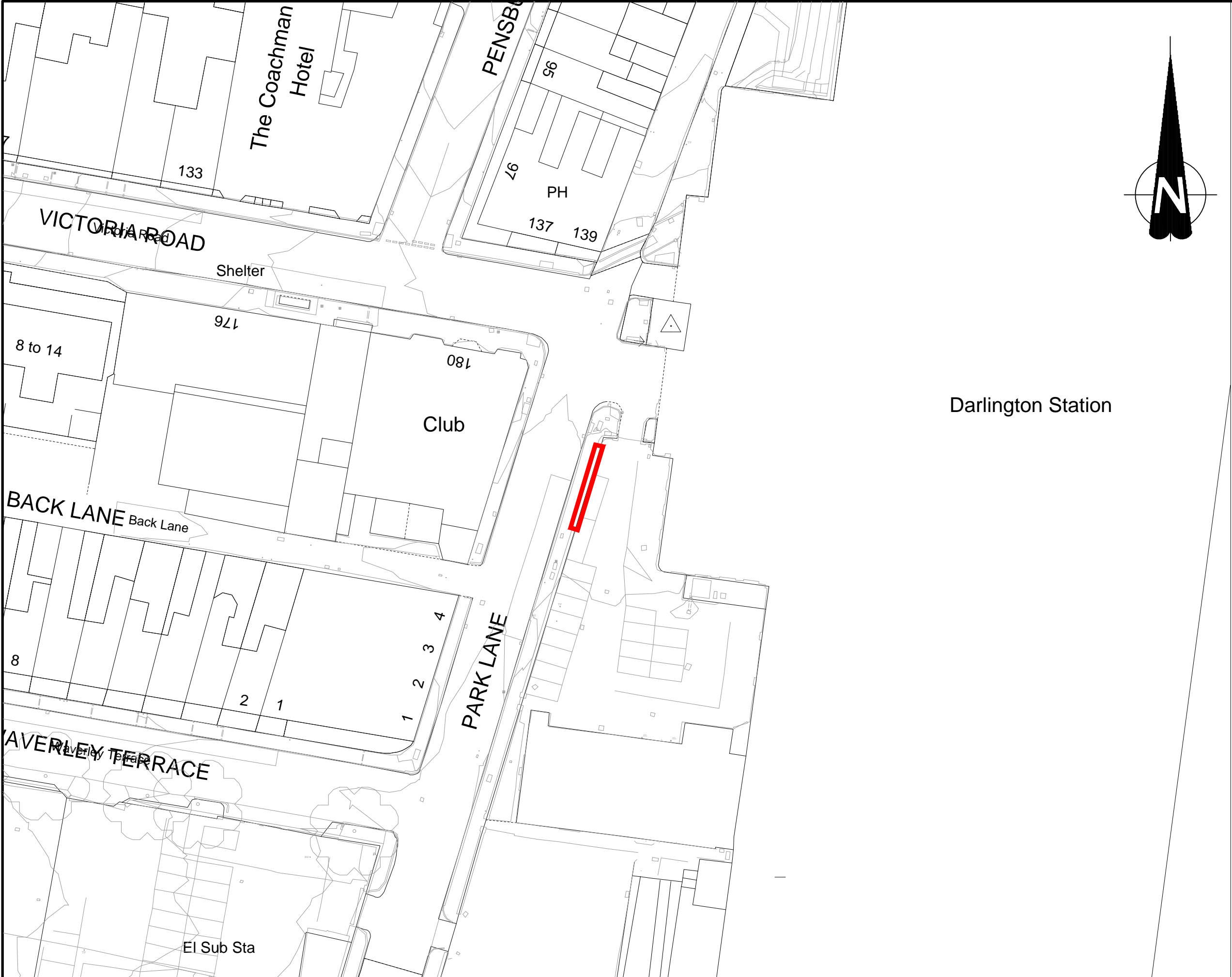
KEY

	Pre-commencement of development
	Prior to occupation
	Trigger during construction stage

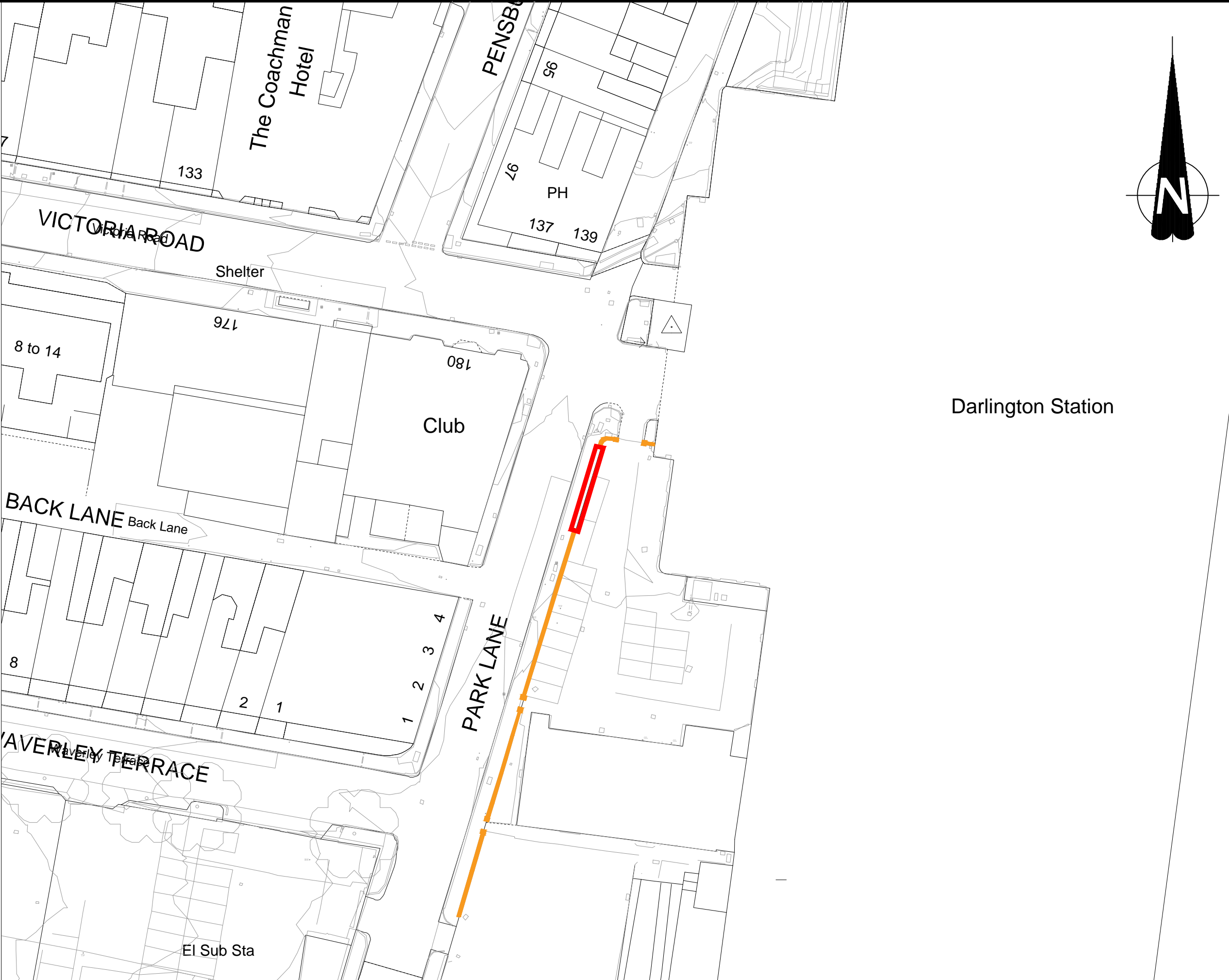
NB. The wording of some conditions have been shortened for ease of reference.

No.	Condition Requirements	Trigger	Comments
1	The development hereby permitted shall be commenced not later than the expiration of three years from the date of this permission.	N/A	Standard compliance condition
2	The development hereby permitted shall be carried out in accordance with the approved plans.	N/A	Standard compliance condition
3	Within 6 months of the demolition of Hogan's Public House and 137 - 139 Victoria Road, a scheme for the treatment of the exposed gables, which may include public art proposals, shall be submitted to and approved in writing by the Local Planning Authority. Thereafter, the gables shall be treated in accordance with the approved details.	Trigger during construction stage	A scheme can be prepared and an application to discharge can be submitted within 6 months of the demoltion of the buildings identified.
4	Prior to the removal of the scoria blocks, a method for their lifting and re-use shall be submitted to and approved in writing by the Local Planning Authority. Thereafter the development shall be carried out in accordance with the details as approved.	Trigger during construction stage	A Method Statement can be prepared by the Contractor, submitted prior to the removal of the scoria blocks.
5	Prior to the construction of the turning head to the rear of Pensbury Street, engineering details of the retaining structure shall be submitted to and approved in writing by the Local Planning Authority. Thereafter the development shall be carried out in accordance with the details as approved.	Trigger during construction stage	Standard RIBA Stage 4 information to be prepared and submitted to the Planning Authority. Such information is likely to be complete before the commencement of development.
6	Prior to the commencement of development, or at a time agreed in writing by the Local Planning Authority, a site specific Demolition and Construction Management Plan shall be submitted to and approved in writing by the Local Planning Authority.	Pre-commencement	A Demolition and Construction Management Plan would be prepared by the appointed Contractor and submitted to the Planning Authority before commencement of development.
7	No construction or demolition activities, including the use of plant and machinery, as well as deliveries to and from the site, shall take place outside the hours of 08.00 - 18.00 Monday to Friday, 08.00 - 14.00 Saturday with no activities on Sunday or Bank / Public Holidays without the prior written permission of the Local Planning Authority.	N/A	Standard compliance condition
8	The development hereby approved shall not be commenced on site until a scheme for the implementation, maintenance and management of a Sustainable Surface Water Drainage Scheme has first been submitted to and approved in writing by the Local Planning Authority. The scheme shall be implemented and thereafter managed and maintained in accordance with the approved details.	Pre-commencement	Standard RIBA Stage 4 information to be prepared and submitted to the Planning Authority. There is time available between January 2022 - September 2022 to complete this Scheme.
9	The development permitted by this planning permission shall only be carried out in accordance with the approved Flood Risk Assessment and Drainage Strategy Rev1 dated 8 June 2021 and the following mitigation measures detailed within the Flood Risk Assessment: Discharge to existing Northumbrian Water surface water sewer restricted to 11 l/s; 176.5m3 of storage provided.	N/A	Compliance condition with information already submitted and approved as part of the planning application.
10	The development hereby approved shall not be brought into use until the approved surface water management scheme is in place; and a management and maintenance plan of the approved surface water drainage scheme has been submitted and approved in writing by the Local Planning Authority.	Prior to occupation / operation	To be prepared by the Contractor with input from the Local Authority / Client
11	No development shall take place until the Applicant has secured the implementation of a the programme of archaeological work in accordance with a written scheme of investigation, which has been approved in writing by the Local Planning Authority.	Pre-commencement	Condition requests Building Recording of properties already within the freehold ownership of Darlington Borough Council. There is time available between January 2022 - September 2022 to agree and complete this work.
12	The development shall not be occupied until the post investigation assessment required under Condition 11 has been completed in accordance with the written scheme of investigation.	Prior to occupation / operation	The investigation works would be complete before the demolition of buildings.
13	Prior to the commencement of development, fully detailed highway design information should be submitted for approval. The development shall not be carried out otherwise than in complete accordance with approved details.	Pre-commencement	Standard RIBA Stage 4 information to be prepared and submitted to the Planning Authority. There is time available between January 2022 - September 2022 to complete this Scheme.
14	Prior to the commencement of development, or other such timescale as maybe agreed in writing by the Local Planning Authority, a landscaping scheme shall be submitted to and approved in writing by the Local Planning Authority.	Pre-commencement	Standard RIBA Stage 4 information to be prepared and submitted to the Planning Authority. There is time available between January 2022 - September 2022 to complete this Scheme.

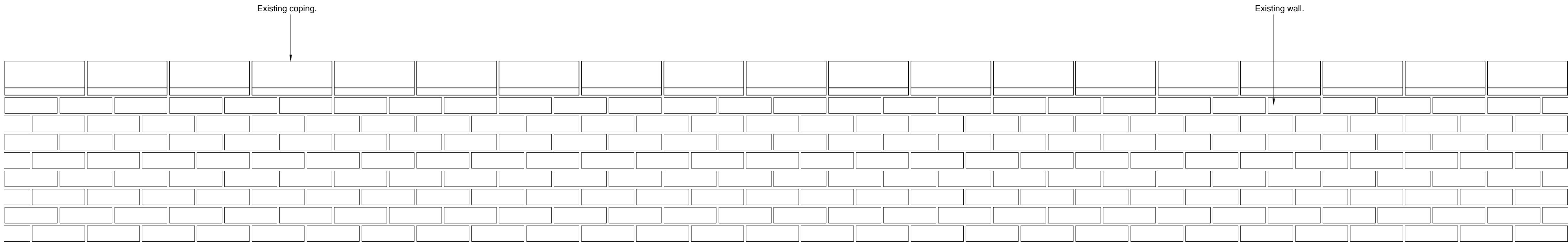
**Appendix DW4 – Drawing to Represent Proposed Development under Application
21/00750/DCLB**



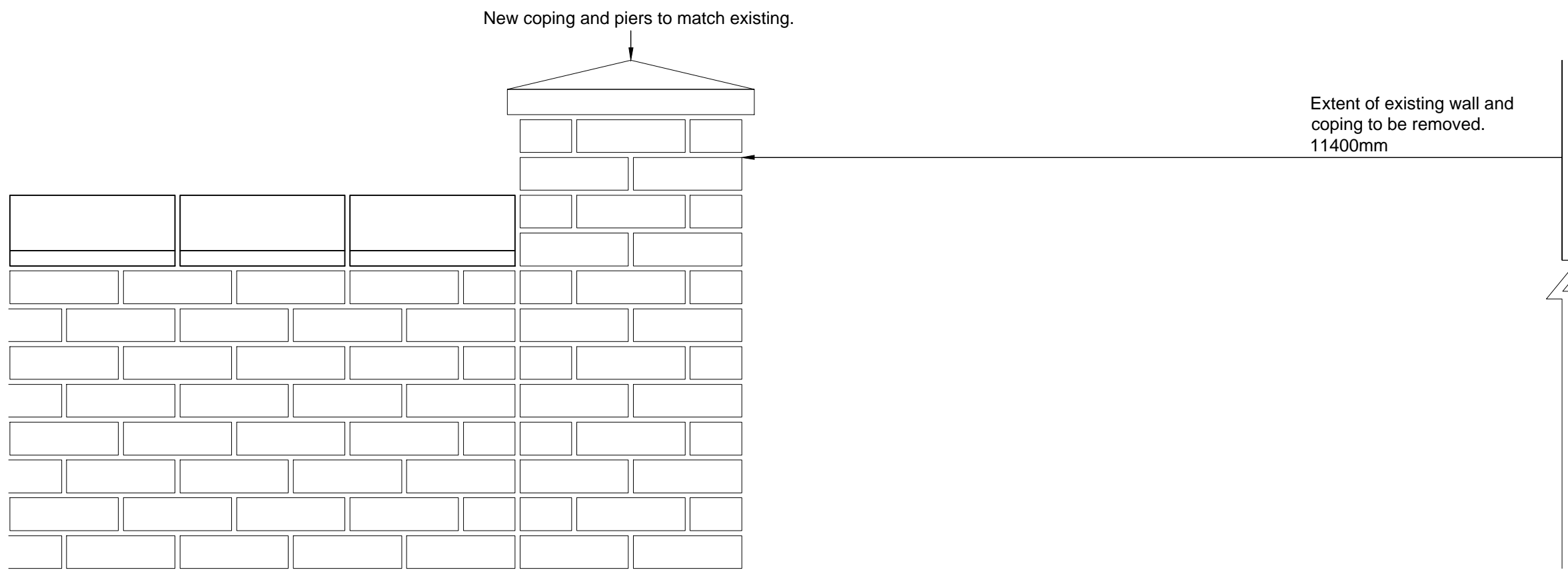
Site Location Plan / Existing Site Plan
Scale 1:500



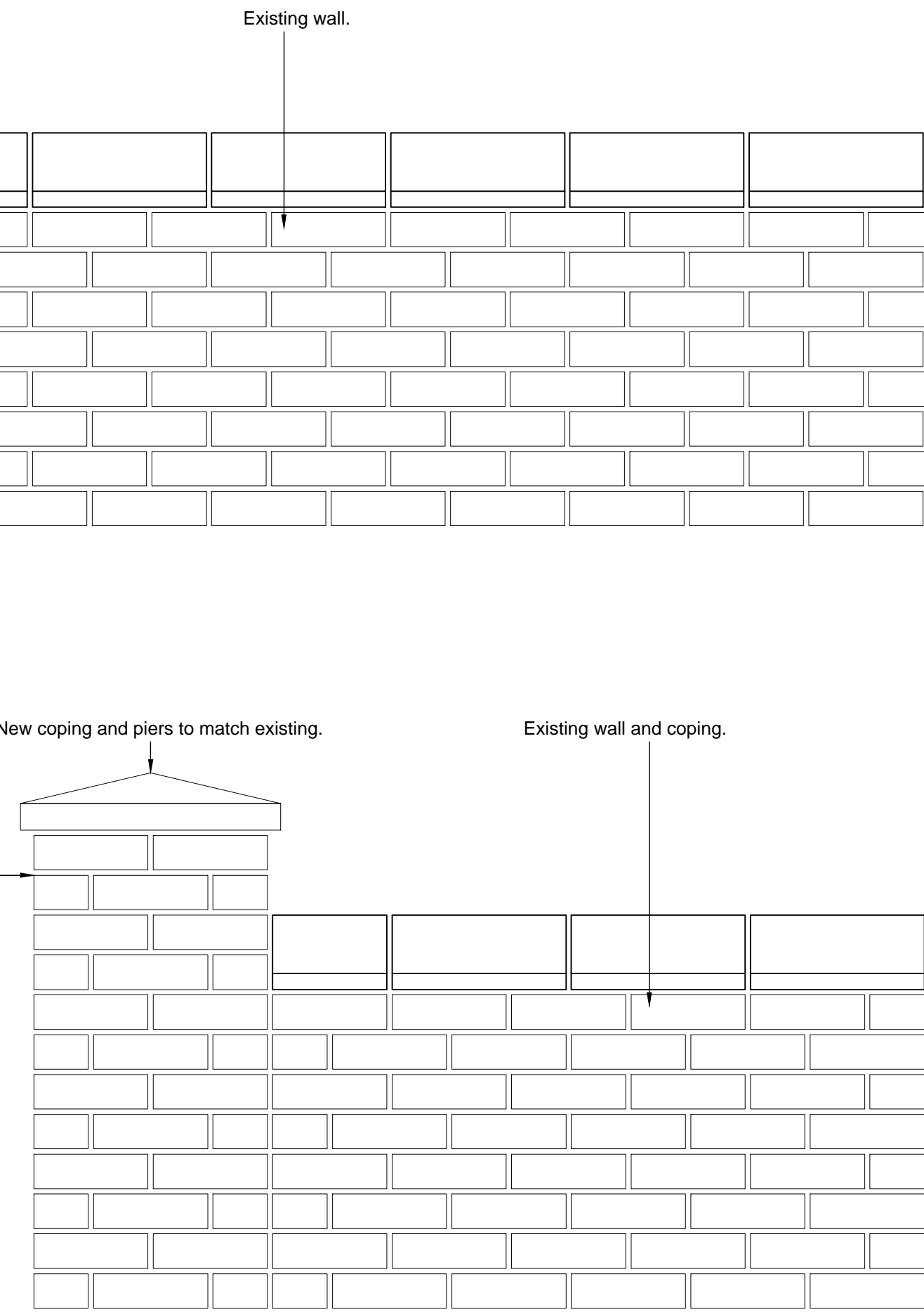
Proposed Site Plan
Scale 1:500



Existing Elevation
Scale 1:10



Proposed Elevation
Scale 1:10



Do not scale from this drawing.															
SAFETY HEALTH AND ENVIRONMENTAL INFORMATION															
IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION.															
RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM NO.															
CONSTRUCTION															
DEMOLITION															
FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE															
IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.															
Key <div><div></div> Application boundary</div> <div><div></div> Existing</div> <div><div></div> Wall to be retained</div>															
<table><tr><td>A</td><td>21/06/21</td><td>UPDATED PROPOSED ELEVATION.</td><td>ST</td><td>DW</td><td>DW</td></tr><tr><td>Rev.</td><td>Date</td><td>Description</td><td>Drawn</td><td>Chkd</td><td>Appd.</td></tr></table>				A	21/06/21	UPDATED PROPOSED ELEVATION.	ST	DW	DW	Rev.	Date	Description	Drawn	Chkd	Appd.
A	21/06/21	UPDATED PROPOSED ELEVATION.	ST	DW	DW										
Rev.	Date	Description	Drawn	Chkd	Appd.										
FAIRHURST 1 Arngrove Court Barnack Road, Newcastle-upon-Tyne NE4 6DB Tel: 0191 221 0505 Fax: 0844 381 4412		DARLINGTON BOROUGH COUNCIL													
Project Title: DARLINGTON STATION GATEWAY															
Drawing Title: DARLINGTON WEST LISTED BUILDING CONSENT															
Scale of A1: AS SHOWN		Status: Preliminary													
Drawn: ST		Checked: DW		Approved: DW											
Date: 09/06/21		Date: 11/06/21		Date: 11/06/21											
Drawing No.: 137397/8004					Revision: A										

Appendix DW5 – Condition Overview of Application 21/00750/DCLB

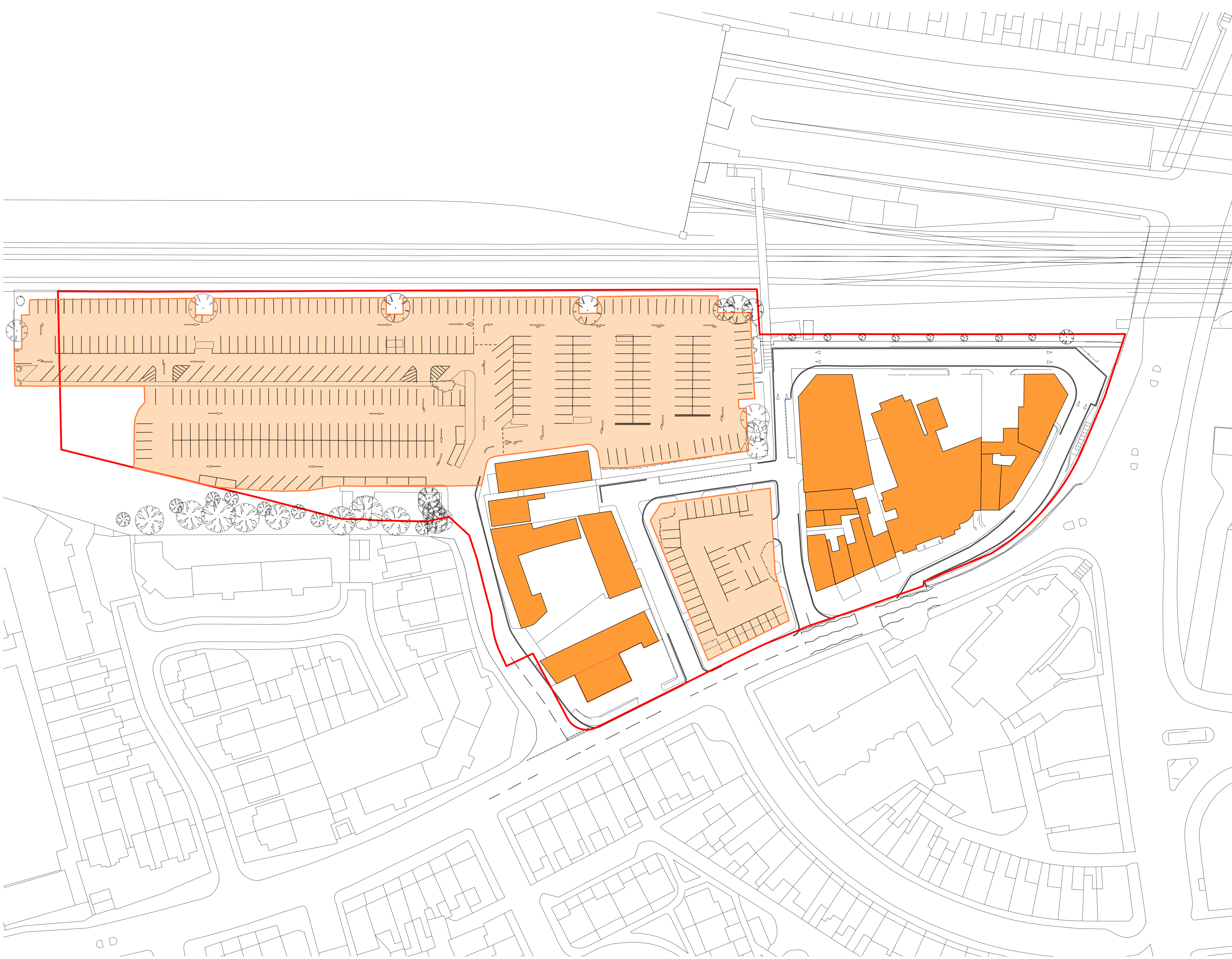
Appendix DW5 - Condition Tracker
Listed Building Consent Ref: 21/00750/DCLB
Date of Decision: 22/10/2021
Darlington Gateway West - Listed Building Consent

- KEY
- Pre-commencement of development
 - Prior to occupation
 - Trigger during construction stage

NB. The wording of some conditions have been shortened for ease of reference.

No.	Condition Requirements	Trigger	Comments
1	The development hereby permitted shall be commenced not later than the expiration of three years from the date of this permission.	N/A	Standard compliance condition
2	The development hereby permitted shall be carried out in accordance with the approved plans.	N/A	Standard compliance condition
3	Prior to construction of the brick pillars hereby permitted, details of mortar specification for the foundation, bedding and pointing of the brick pillars shall be submitted to and approved in writing by the Local Planning Authority. Thereafter the development shall be carried out in accordance with the details as approved.	Trigger during construction stage	Specification details can be prepared and submitted prior to construction of the brick pillars.
4	The brick pillars hereby permitted shall be constructed using bricks reclaimed from the demolition of the boundary wall and capping stones shall match those in use elsewhere on the boundary wall.	N/A	Compliance Condition

**Appendix DW6 – Drawings to Represent Proposed Development under Application
21/00688/DC – Gateway East**






Existing Site Plan - Demolition Plan
1 : 500



Notes:
OS Licence No: 100006354
All dimensions to be checked on site.
DO NOT SCALE FROM DRAWING.
Discrepancies ambiguities and/or omissions between this drawing and information given elsewhere must be reported immediately to the architect before proceeding.
THIS DRAWING IS COPYRIGHT.
This drawing is to be read in conjunction with drawings:-

Site Area
21055.46 m²

-  Red line indicates site boundary
-  Indicates buildings to be demolished as part of development
-  Indicates area of existing surface level car parking to be demolished

All roads and site features within red line boundary to be stripped out and removed as part of site clearance works

JT	AR	15/06/2021	P1	Planning Issue
C	R	DATE	N	AMENDMENT

NAPPER

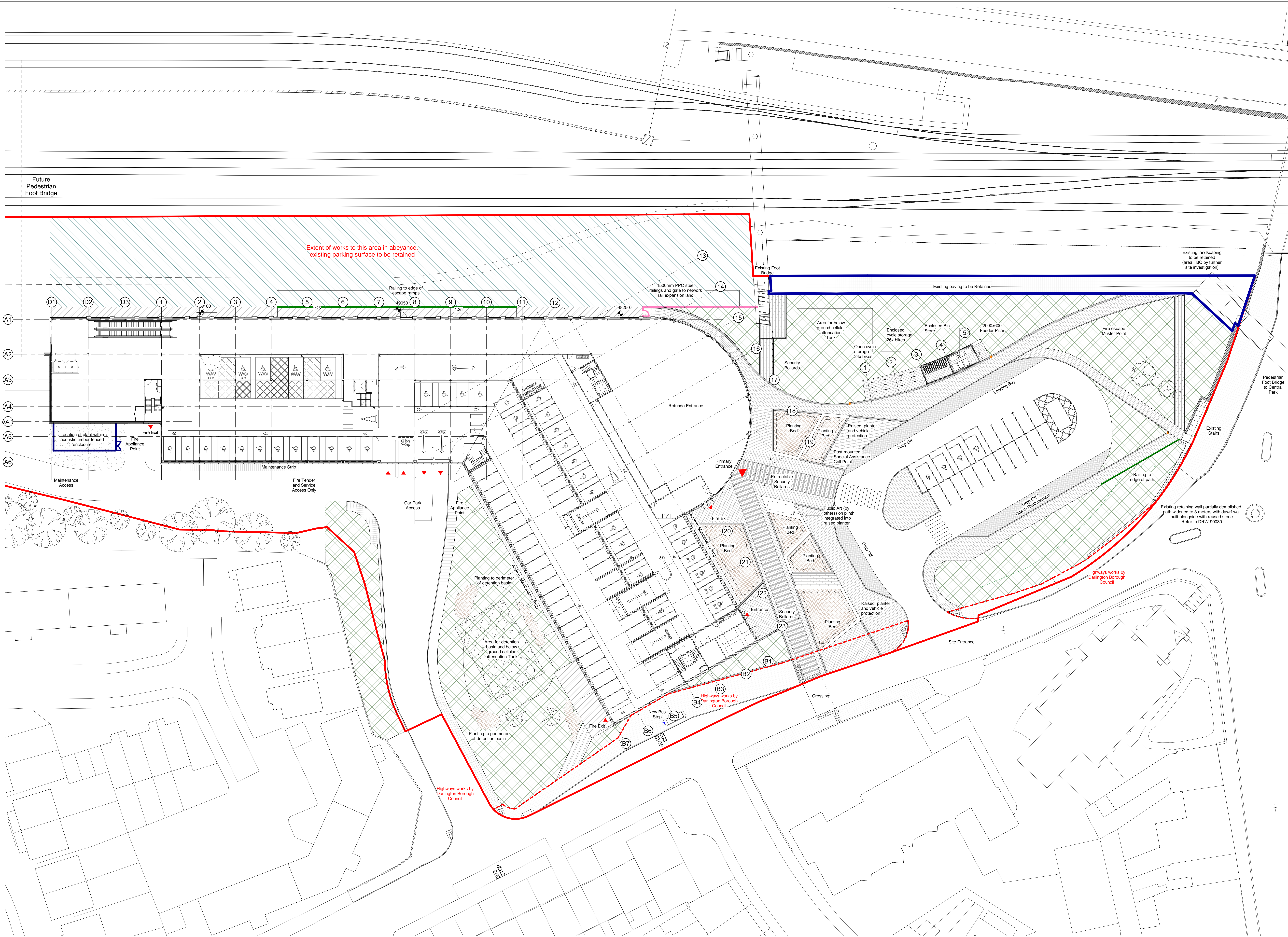
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Napper Architects Ltd
3 Waterloo Square
Newcastle Upon Tyne
NE1 4DR
Tel: 0191 2610491

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First Floor, 6 Bakers Yard
London
EC1R 3DD
Tel: 0203 9066814

Project : **Darlington Station MSCP**
Client : **Willmott Dixon**

_Existing Site Plan - Demolition Plan	Scale : As indicated @ A1	
	Internal Project No : 201019	Drawn : JTr
	Date : 15/06/2021	Rev : P1

Drawing Number : **SGMSCP-NAP-Z1-ZZ-DR-A-00006**



Notes:

OS Licence No: 10006354
All dimensions to be checked on site.
DO NOT SCALE FROM DRAWING.

Discrepancies ambiguities and/or omissions between this drawing and information given elsewhere must be reported immediately to the architect before proceeding.
THIS DRAWING IS COPYRIGHT.
This drawing is to be read in conjunction with drawings:-

Site Plan Key

- Red line indicates site boundary
- Orange line indicates site works under a separate contract
- Blue line indicates location (TBC) of existing hard landscaping works to be retained
- Pink line indicates location of 1500 high palisade fence to Network Rail specification
- Green line indicates location of handrail to footpath
- External plant enclosure, surrounded by timber acoustic fencing with gated access
- Pre-cast Concrete Block Paving with feature banding Colour - Mix
- Pre-cast Concrete Block Paving contrasting stripes
- Pavement Paving: Pressed Grey Concrete Flag Paving Slab to match existing pavements
- Permeable pre-cast concrete block paving to drop off and loading bay laid in herringbone pattern
- 800mm Maintenance Strip to edge of MSCP: Pressed Grey Concrete Flag Paving
- Built up asphalt footpath to service areas, loading to support MEWP access
- Tarmac access road surface to engineers spec
- Concrete plinth to external plant enclosure, loading to support plant equipment
- Species rich grass seed mix
- Planting area/ Hedges
- Pre-Cast concrete raised planter
- Proposed Trees (type TBC)
- Lighting Column, TBC electrical engineers
- Litter bin

Notes:

*** Levels, Falls and drainage TBC ***

C	R	DATE	N	AMENDMENT
JT	AR	27/05/2020	P6	Final Stage 3 Issue
JT	AR	09/04/2021	P5	Updated Stage 3 Issue
JT	AR	17/03/2021	P4	Stage 3 Issue
JT	AR	17/04/2020	P3	Updated With Reduced Landscaping
JT	AR	09/04/2020	P2	Updated Access Road
JT	AR	03/04/2020	P1	First Issue

NAPPER

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www.napperarchitects.co.uk

Napper Architects Ltd
3 Waterloo Square
Newcastle Upon Tyne
NE1 4DR
Tel: 0191 2810491

First Floor: 6 Bakers Yard
Newcastle Upon Tyne
EC1R 3DD
Tel: 0203 8966814

Project:
Darlington Station MSCP

Client:
Willmott Dixon

Internal Project No:
B2013

Drawn:
JT

Scale:
1 : 250 @ A0

Rev:
P6

Drawing Number:
SGMSCP-NAP-Z0-XX-DR-A-90001

**AppendixDW7 - List of Documents and Drawings from Application 21/00688/DC –
Gateway East**

Appendix DW7 - List of Documents and Drawings from Application 21/00688/DC – Gateway East

21/00688/DC | Demolition of existing buildings and erection of station building with concourse, multi-storey car park, transport interchange, public realm and highways works and alterations to boundary wall (Additional Bat Survey Report received 27 August 2021) | Darlington Station Gateway East

- Application Forms;
- General Arrangement Sections Station;
- General Arrangement Sections Block A;
- General Arrangement Sections Block B;
- South Elevation;
- West Elevation;
- South East Elevation;
- North West Elevation;
- North East Elevation;
- Level 00-01;
- Level 02-03;
- Level 04-05;
- Level 06-07;
- Level 08-09;
- Site Plan;
- Landscape General Arrangement;
- Site Sections;
- Garbutt Square Swept Path;
- Access Arrangements Swept Path;
- Access Swept Path;
- Areas of Highway to be Stopped Up;
- Non-Motorised Users Plan;
- Works General Arrangement;
- Proposed Drainage Layout;
- Design and Access Statement;
- Air Quality Assessment;
- Drainage Maintenance and Management Plan;

- Flood Risk Assessment;
- Environment Agency Flood Map Planning;
- Acoustic Assessment;
- Geo-environmental Interpretative Report;
- Geo-environmental Desk Study;
- Tree Survey;
- Preliminary Ecological Appraisal;
- Transport Assessment;
- Darlington Station Multi Storey Car Park Demand Study;
- Heritage Statement;
- Statement of Significance Bank Top Station;
- EIA Screening Letter;
- Gross Floor Area Schedule;
- Demolition Plan;
- Existing Site Plan;
- Consultation Report.

Information submitted on 27 August 2021:

- Bat Survey Report

Information submitted on 9 September 2021:

- Revised Non-Motorised User Plan;
- Areas of Highway to be Stopped Up and Created;
- Proposed Access Arrangements;
- Swept Path Analysis of Garbutt Square (2 Drawings);
- Stopping Up Plan.

Appendix DW8 – Condition Overview of Application 21/00688/DC – Gateway East

Appendix DW8 - Condition Tracker
Planning Permission Ref: 21/00688/DC
Date of Decision: 29/09/2021
Darlington Gateway East

KEY

	Pre-commencement of development
	Prior to occupation
	Trigger during construction stage

NB. The wording of some conditions have been shortened for ease of reference.

No.	Condition Requirements	Trigger	Comments
1	The development hereby permitted shall be commenced not later than the expiration of three years from the date of this permission.	N/A	Standard compliance condition
2	The development hereby permitted shall be carried out in accordance with the approved plans.	N/A	Standard compliance condition
3	No buildings shall be constructed above damp proof course until precise details of materials to be used throughout the development hereby approved have been submitted to and approved in writing by the Local Planning Authority. The development shall not be carried out otherwise than in complete accordance with the approved details.	Trigger during construction stage	Standard RIBA Stage 4 information to be prepared and submitted to the Planning Authority. Information likely to be available before commencement of development in October 2022.
4	No building shall be constructed above damp proof course until precise details of a lighting scheme for the development has been submitted to and approved in writing by the Local Planning Authority. The development shall not be completed otherwise than in complete accordance with the approved details.	Trigger during construction stage	Standard RIBA Stage 4 information to be prepared and submitted to the Planning Authority. Information likely to be available before commencement of development in October 2022.
5	Prior to the demolition of the stone retaining wall on Neasham Road / Parkgate, precise details of the design and materials to be used in the replacement means of enclosure shall be submitted to and approved in writing by the Local Planning Authority. The development shall not be carried out otherwise than in complete accordance with the approved details.	Trigger during construction stage	Standard RIBA Stage 4 information to be prepared and submitted to the Planning Authority. Information likely to be available before commencement of development in October 2022.
6	No building shall be constructed above damp proof course until a landscaping scheme has been submitted to and approved in writing by the Local Planning Authority. The details shall include a management plan for the scheme and upon approval of the scheme, it shall be fully implemented concurrently with the carrying out of the development, or within such extended period as may be agreed in writing by the Local Planning Authority.	Trigger during construction stage	Standard RIBA Stage 4 information to be prepared and submitted to the Planning Authority. Information likely to be available before commencement of development in October 2022.
7	No building shall be constructed above damp proof course until fully detailed highway design information has been submitted to and approved in writing by the Local Planning Authority. The information shall include the precise details of all works within the public highways and works intended for adoption by the Highway Authority. Details should include phasing of works, material specifications, surface finishes, tie-in details, construction standards / pavement makeup. Details should also include level / gradient information of all pavements and roads, precise details of signing and lining works. The development shall not be carried out otherwise than in complete accordance with the approved details.	Trigger during construction stage	Standard RIBA Stage 4 information to be prepared and submitted to the Planning Authority.
8	No building shall be constructed above damp proof course until vehicle swept path analysis has been undertaken to support the movement framework for emergency vehicles, refuse vehicles, and buses, for the internal network and, where appropriate, in respect of the off-site highway proposals, details of which shall be submitted to and approved by the Local Planning Authority.	Trigger during construction stage	This work will be undertaken to inform the RIBA Stage 4 Design.
9	A Road Safety Audit shall be carried out for all of the highways and the scope of the Audit shall be agreed in writing with the Local Planning Authority. The development shall not be carried out unless in complete accordance with the approved Audit.	No trigger identified. However, this condition will be applied to be discharge during the construction period.	This work will be undertaken to inform the RIBA Stage 4 Design.
10	No building shall be constructed above damp proof course until precise details of the cycle storage building have been submitted to and approved in writing by the Local Planning Authority. The details shall include the number of cycles, the location and design of the building, the type of cycle stand, security measures, and the future maintenance of the building. The cycle stand shall be in place prior to the occupation of the building and retained thereafter.	Trigger during construction stage	Standard RIBA Stage 4 information to be prepared and submitted to the Planning Authority.
11	No buildings shall be built above damp proof course until a scheme of proposals for reducing carbon emissions has been submitted to and approved in writing by the Local Planning Authority. The development shall not be carried out otherwise than in complete accordance with the approved details.	Trigger during construction stage	This work will be undertaken to inform the RIBA Stage 4 Design.
12	No building shall be constructed above damp proof course until precise details of the bin stores have been submitted to and approved in writing by the Local Planning Authority. The details shall include the number, the location and the design of the stores. The bin stores shall be in place prior to the occupation of the building and retained thereafter. The development shall not be carried out otherwise than in complete accordance with the approved details.	Trigger during construction stage	Standard RIBA Stage 4 information to be prepared and submitted to the Planning Authority.
13	Prior to the installation of any fixed mechanical ventilation system associated with the development hereby approved the details shall be submitted to and agreed in writing with the Local Planning Authority. The ventilation system thereby agreed shall achieve noise levels in excess of 5dB below the background noise level (LA90 T) when assessed in accordance with BS4142. The agreed ventilation system shall thereafter be retained and maintained throughout the lifetime of the development.	Trigger during construction stage	This work will be undertaken to inform the RIBA Stage 4 Design.
14	Prior to the commencement of any phase of the development, including demolition, a site specific Demolition and Construction Management Plan shall be submitted to and approved in writing by the Local Planning Authority.	Pre-commencement	This would be prepared by the Contractor and submitted to the Planning Authority prior to the commencement of development.
15	No construction or demolition activities, including the use of plant and machinery, as well as deliveries to and from the site, shall take place outside the hours of 08.00 - 18.00 Monday to Friday, 08.00 - 14.00 Saturday with no activities on Sunday or Bank / Public Holidays without the prior written permission of the Local Planning Authority.	N/A	Compliance condition.

16	If piled foundation are incorporated into the development hereby approved, details of the piling method including justification for its choice, means of monitoring vibration, and groundwater risk assessment if necessary, in accordance with recognised practice, shall be submitted and agreed in writing by the Local Planning Authority prior to works starting on site. The development shall not be carried out otherwise than in accordance with the approved details.	Trigger during construction stage	If piled foundations are required then this will be confirmed during the RIBA Stage 4 Design and the associated information would be prepared for submission to the Planning Authority.
17	No development shall take place until the Applicant has secured the implementation of the programme of archaeological work in accordance with a written scheme of investigation, which has been approved in writing by the Local Planning Authority.	Pre-commencement	This condition relates to building recording and streetscene recording prior to demolition. These works can be undertaken between taking ownership of buildings and commencing development in October 2022.
18	The development shall not be occupied until the post investigation assessment required under Condition 17 has been completed in accordance with the approved Written Scheme of Investigation. The provision made for analysis, publication, and dissemination of results, and archive deposition, should be confirmed in writing to, and approved by, the Local Planning Authority.	Prior to occupation / operation	This condition can be complied with once the works under Condition 17 have been completed.
19	Development shall be implemented in line with the drainage scheme contained in the submitted document entitled 'Proposed Drainage Layout dated 25/01/2021.' The drainage scheme shall ensure that foul flows discharge to the combined sewer at manhole 6101 and upstream of 6204 and ensure that surface water flows discharge to the combined sewer at manholes 6101 and slightly upstream of manhole 6204. The surface water discharge rate at each connection point shall be restricted to 2.5l/sec. The final surface water discharge rate shall be agreed by the Lead Local Flood Authority.	Trigger during construction stage	Standard RIBA Stage 4 information to be prepared and submitted to the Planning Authority.
20	The development hereby approved shall not be commenced on site until a scheme for the implementation, maintenance and management of a Sustainable Surface Water Drainage Scheme has first been submitted to and approved in writing by the Local Planning Authority.	Pre-commencement	Standard RIBA Stage 4 information to be prepared and submitted to the Planning Authority.
21	The development hereby permitted shall only be carried out in complete accordance with the approved Flood Risk Assessment and Drainage Strategy dated 4 June 2021. The mitigation measures shall be fully implemented prior to the occupation and subsequently in accordance with the timing / phasing arrangements embodied within the scheme, or within any period as may subsequently be agreed in writing by the Local Planning Authority.	Prior to occupation / operation	Mostly a compliance condition but the works will be undertaken as part of the construction works.
22	The building hereby approved shall not be brought into use until a) requisite elements of the approved surface water management scheme for the development, or any phase of the development, are in place and fully operational to serve said building. B) Management and maintenance plan of the approved Surface Water Drainage Scheme has been submitted and approved in writing by the Local Planning Authority, this should include the funding arrangements and cover the lifetime of the development.	Prior to occupation / operation	Standard RIBA Stage 4 information to be prepared and submitted to the Planning Authority.
23	Prior to the commencement of development or at a time agreed in writing by the Local Planning Authority a Phase 2 Site Investigation works shall be conducted, supervised and documented by a suitably competent person(s) and carried out in accordance with the approved Phase 2 Site Investigation Strategy (Sampling and Analysis Plan). A Phase 2 Site Investigation and Risk Assessment Report prepared by a suitably competent person(s) in accordance with published technical guidance shall be submitted to and agreed in writing with the Local Planning Authority unless the Local Planning Authority dispenses with the requirement specifically and in writing.	Pre-commencement	This work will be undertaken to inform the RIBA Stage 4 Design.
24	Prior to the commencement of development or at a time agreed in writing by the Local Planning Authority a Phase 3 Remediation and Verification Strategy shall be prepared by a suitable competent person(s) to address all human health and environment risks associated with contamination identified in the Stage 2 Site Investigation and Risk Assessment.	Pre-commencement	This work will be undertaken to inform the RIBA Stage 4 Design.
25	Any previously unidentified contamination found during the course of the works shall reported to the Planning Authority, and be subject to further risk assessment and remediation proposals to be agreed in writing with the Local Planning Authority.	N/A	Compliance condition.
26	The Phase 3 Remediation and Verification works shall be conducted, supervised and documented by a suitable competent person. A Phase 4 Verification and Completion Report shall be submitted to and approved in writing by the Local Planning Authority within 2 months of completion of the development	Trigger during construction stage (if required)	This work will be undertaken either prior to or during the course of the development.
27	The development shall not be carried out otherwise than in complete accordance with the submitted Tree Protection Plan and Arboricultural Method Statement	N/A	
28	The development shall not be carried out otherwise than in complete accordance with the Mitigation and Compensation Strategy contained within the submitted Preliminary Ecological Appraisal and Bat Roost Assessment	N/A	

29	The development shall not be carried out otherwise than in complete accordance with the Mitigation and Compensation Strategy contained within the submitted Bat Survey Report.	N/A	
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